

GENERAL NOTES

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. IF IN DOUBT, ASK. THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THE OWNER OR CONTRACTOR.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIAN AND THE AUSTRALIAN STANDARDS LISTED CONFIRM LATEST EDITIONS BEFORE PROCEEDING.

- AS 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE
- AS 2049 - 1992 ROOF TILES
- AS 2050 - 1995 INSTALLATION OF ROOF TILES
- AS 2870 - 1996 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION
- AS/NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 - 1994 CONCRETE STRUCTURES
- AS 3660 - 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 - 1998 MASONRY IN BUILDINGS
- AS 3740 - 1994 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 3786 - 2014 SMOKE ALARMS
- AS 4055 - 1992 WIND LOADINGS FOR HOUSING
- AS 4100 - 1996 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY SOIL, STRUCTURAL AND CIVIL ENGINEERING CALCULATIONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

- SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES -
- i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
 - ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
 - iii) FULLY GLAZED DOORS
 - iv) SHOWER SCREENS
 - v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
 - vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, AND ARE TO BE VERIFIED WITH SAME. FLASHING ALL ROUND.

TILED DECKS OVER LIVABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS : 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.

FOOTINGS ARE TO BE WHOLLY WITHIN TITLE BOUNDARIES AND ARE NOT TO ENCROACH EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS STEEL.

SUB-FLOOR VENTILATION MINIMUM 7500mm/sq FOR EXTERNAL WALLS AND 1500mm/sq FOR INTERNAL WALLS BELOW BEARER. THERMAL INSULATION TO BE PROVIDED TO ACHIEVE MINIMUM REQUIREMENTS AS SPECIFIED BY LICENSED ASSESSOR.

STAIR REQUIREMENTS : MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE.

BALUSTRADES : MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH BCA 3.9.2

FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

SMOKE DETECTORS (refer electrical layout plans), TO BE HARD WIRED WITH EMERGENCY BACK-UP AND COMPLY WITH AS 3786.

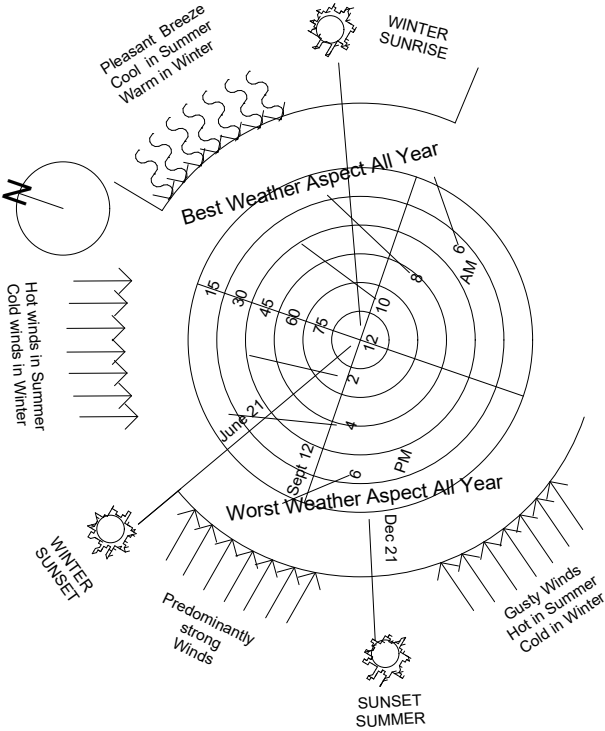
PROVIDE LIFT OFF HINGES, OPEN OUT DOOR OR MIN 1200mm CLEARANCE FROM DOOR TO PAN IN WATER CLOSETS.

EXHAUST FANS FROM SANITARY COMPARTMENTS ARE TO BE DUCTED EXTERNALLY OR TO TO BE DUCTED TO AN EXTERNAL WALL

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

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			Scale AS SHOWN		Date 07/04/2025	Project no.				24-021					
			Drawn J.B		Approved J.B										
			Issued Development Application		Drawing no.										
							1								



SITE ANALYSIS PLAN
N.T.S

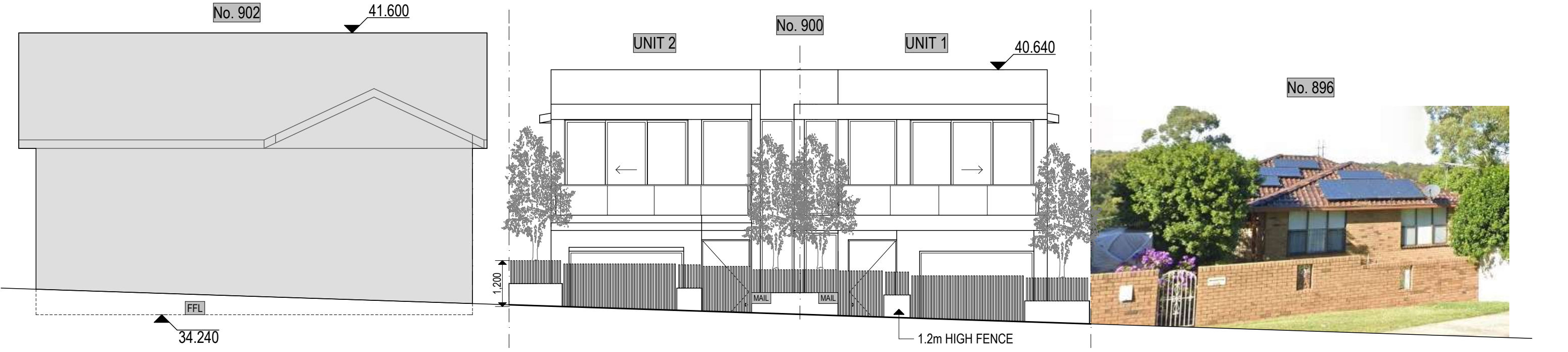
BASIX COMMITMENTS:

- Unit 1:
- R7.0 insulation to plasterboard ceiling
 - R1.3 foil blanket and sisalation underneath metal roof
 - R2.5 insulation to all ceilings with balcony above/non trafficable roof
 - Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - air cell insulation (R1.24) to all cavity brick external walls
 - R2.5 insulation under the lower ground and ground floor slabs except the garage
 - bathrooms and ensuite awning windows shall be: Aluminium standard single-glazed: low-e glass: U = 5.40& SHGC = 0.49
 - all remaining awning windows shall be: Aluminium standard double glazed, argon filled, low-e glass : U= 4.10 & SHGC= 0.47
 - all other windows and sliding doors shall be: Aluminium standard double glazed, argon filled, low-e glass : U= 4.10 & SHGC= 0.52
 - RWT: 1,500L to collect 45sqm of roof area and to be connected to laundry and landscape
 - pool capacity: 25 KL
 - hot water system: 4star gas instantaneous or equivalent
 - ceiling fans to ground floor void, all bedrooms and ff hall
 - Garage door: Metal with R1.0 insulation

- Unit 2:
- R7.0 insulation to plasterboard ceiling
 - R1.3 foil blanket and sisalation underneath metal roof
 - R2.5 insulation to all ceilings with balcony above/non trafficable roof
 - Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - air cell insulation (R1.24) to all cavity brick external walls
 - R1.0 insulation to all garage internal walls
 - R2.5 insulation under the lower ground and ground floor slabs except the garage
 - all awning windows shall be: Aluminium standard single-glazed: low-e glass: U = 5.40& SHGC = 0.49
 - all other windows and sliding doors shall be: Aluminium standard single-glazed: low-e glass: U = 5.40& SHGC = 0.58
 - RWT: 1,500L to collect 45sqm of roof area and to be connected to laundry and landscape
 - pool capacity: 25 KL
 - hot water system: 4star gas instantaneous or equivalent
 - ceiling fans to ground floor void, all bedrooms and ff hall
 - Garage door: Metal with R1.0 insulation



LOCATION MAP AS SOURCED FROM 'SIXMAPS'



STREETSCAPE ELEVATION-FRONT FENCE DETAIL
SCALE 1:100 @ A3

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BUILDING DESIGNERS AUSTRALIA 1869-15

Issue	Date	Description	Int.	App.
A	07-04-25	Issued for DA Approval	J.B	J.B
B	01-07-25	General Revision	J.B	J.B

ARCHICORP

PO Box 242
Belmore NSW 2192
M 0414 656 563
E info@archicorp.com.au
www.archicorp.com.au
ABN 831 939 535 21

Project

Proposed Attached Dual Occupancy @ 898 Henry Lawson Dr, Picnic Point

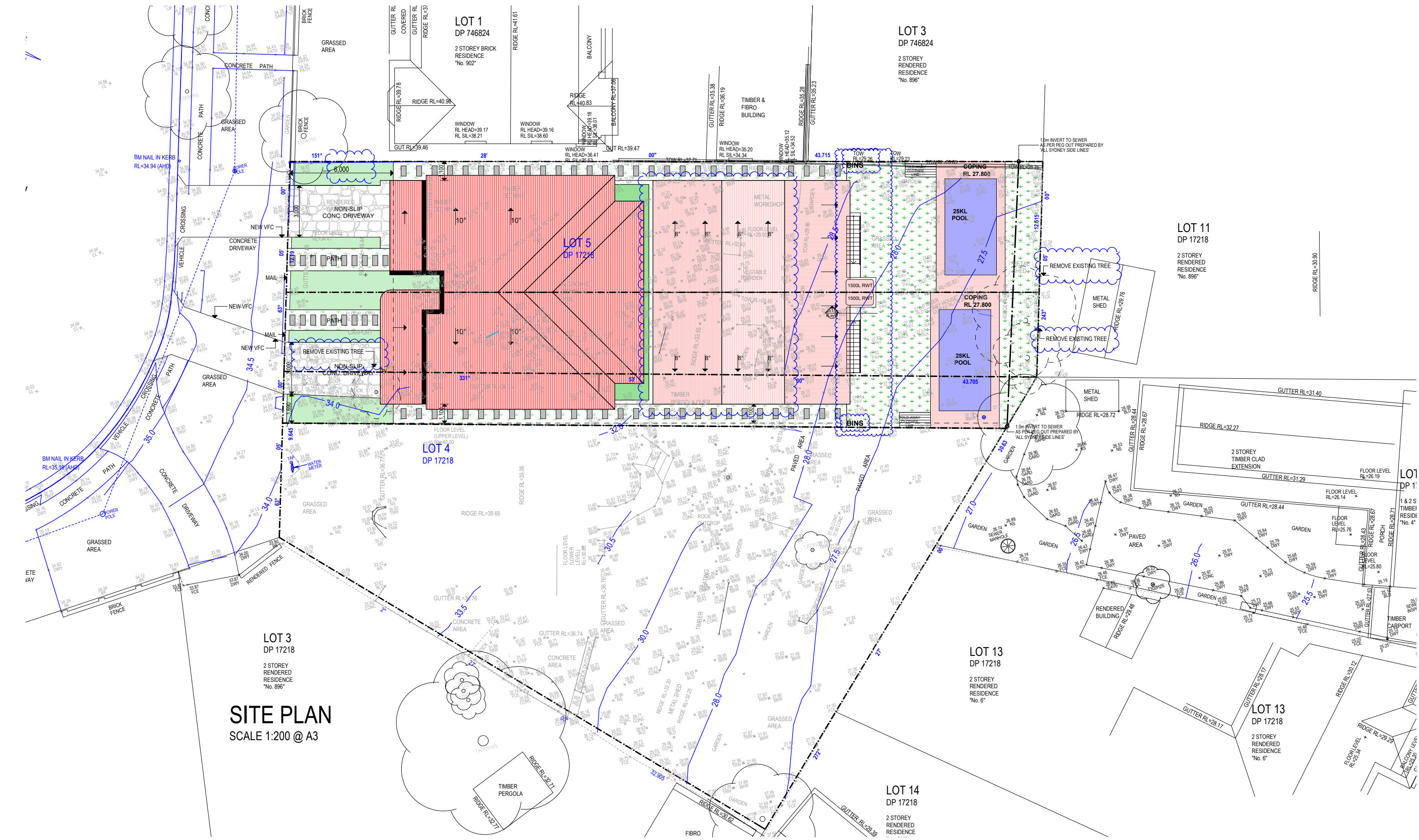
Client

Robak Developments Pty Ltd

Drawing Title

Site Analysis

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SITE PLAN
SCALE 1:200 @ A3

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B	01-07-25	General Revision	J.B	J.B	

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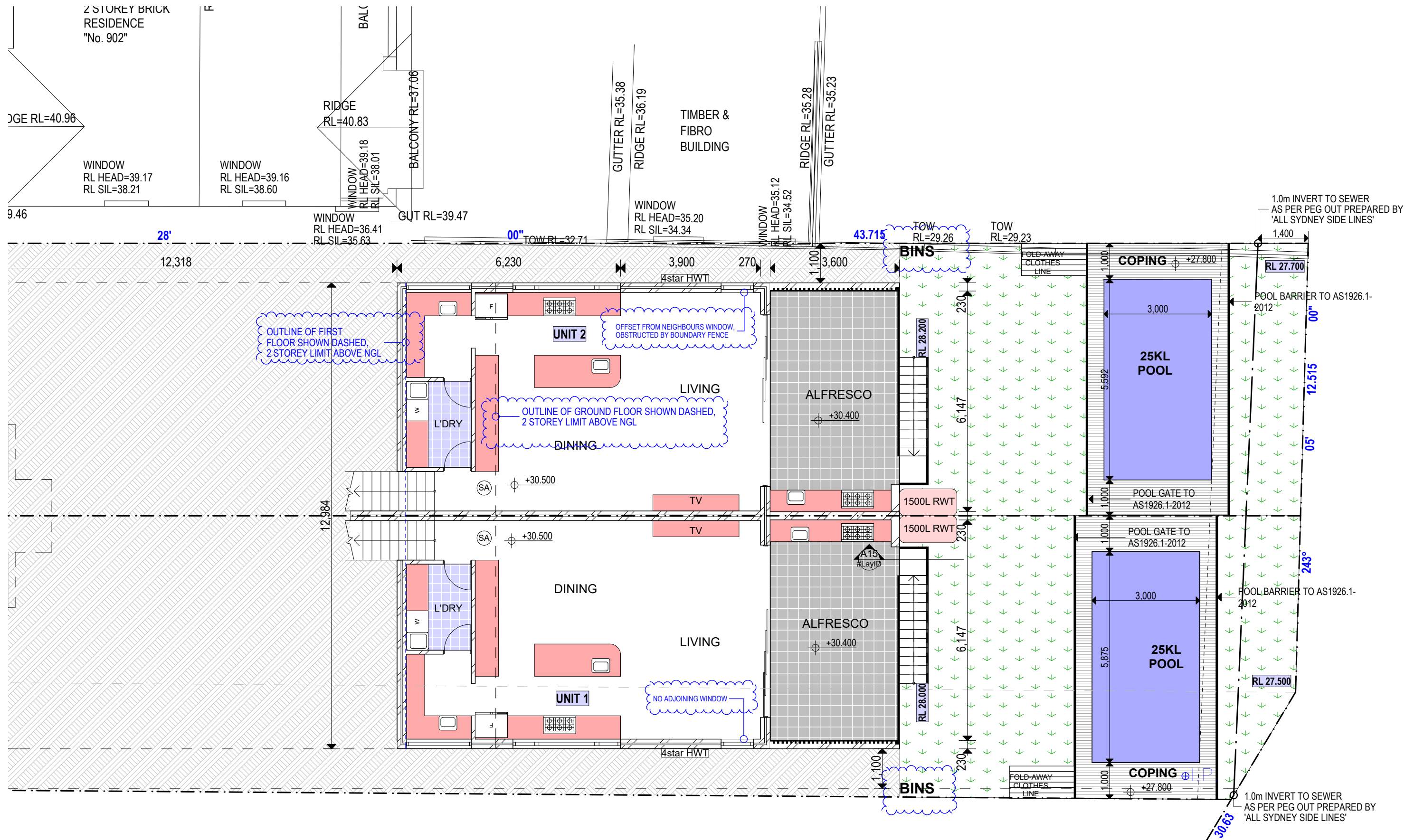
PO Box 242
Belmore NSW 2192
M 0414 656 563
E info@archicorp.com.au
www.archicorp.com.au
ABN 831 939 535 21

Project
Proposed Attached Dual Occupancy @ 898 Henry Lawson Dr, Picnic Point

Client
Robak Developments Pty Ltd

Drawing Title
Site Plan

Scale AS SHOWN	Date 07/04/2025	Project no.
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LOWER-GROUND FLOOR PLAN

SCALE 1:100 @ A3
SA: SMOKE ALARM

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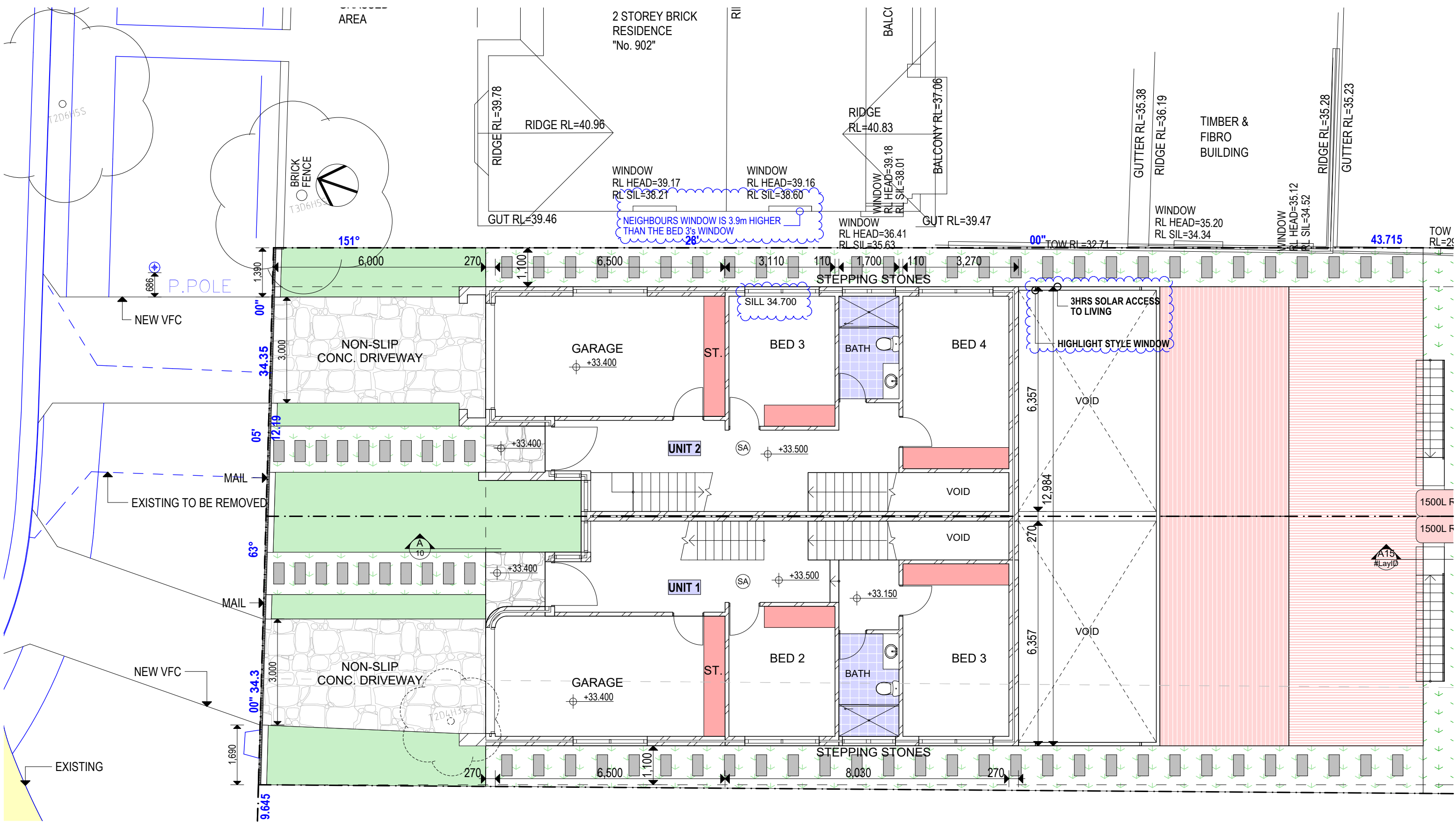
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M 0414 656 563
E info@archicorp.com.au
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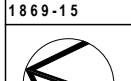
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Lower Ground Floor Plan

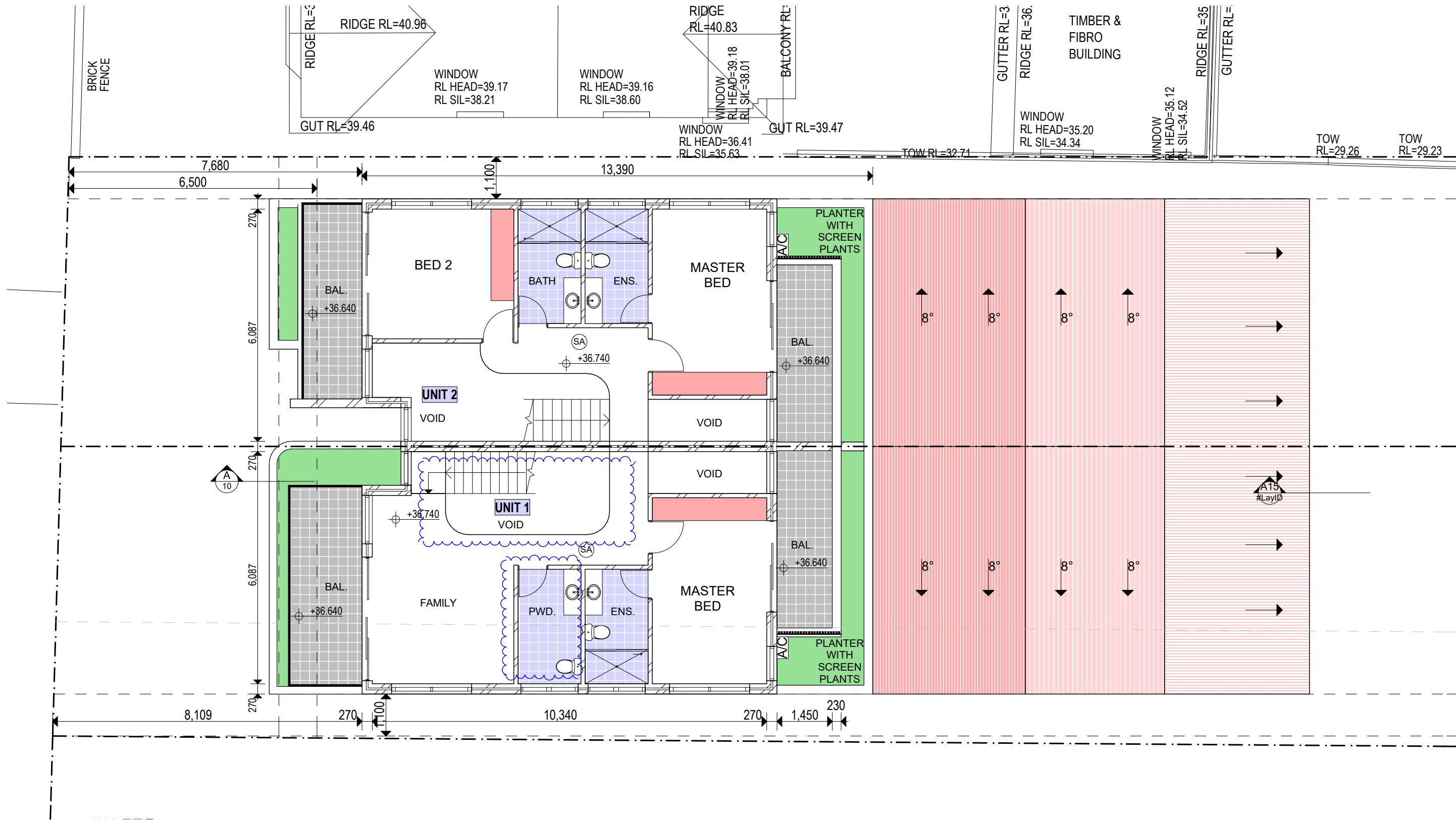
Scale AS SHOWN	Date 07/04/2025	Project no. 24-021
Drawn J.B	Approved J.B	
Issued Development Application		Drawing no. 4



GROUND FLOOR PLAN

SCALE 1:100 @ A3
SA: SMOKE ALARM

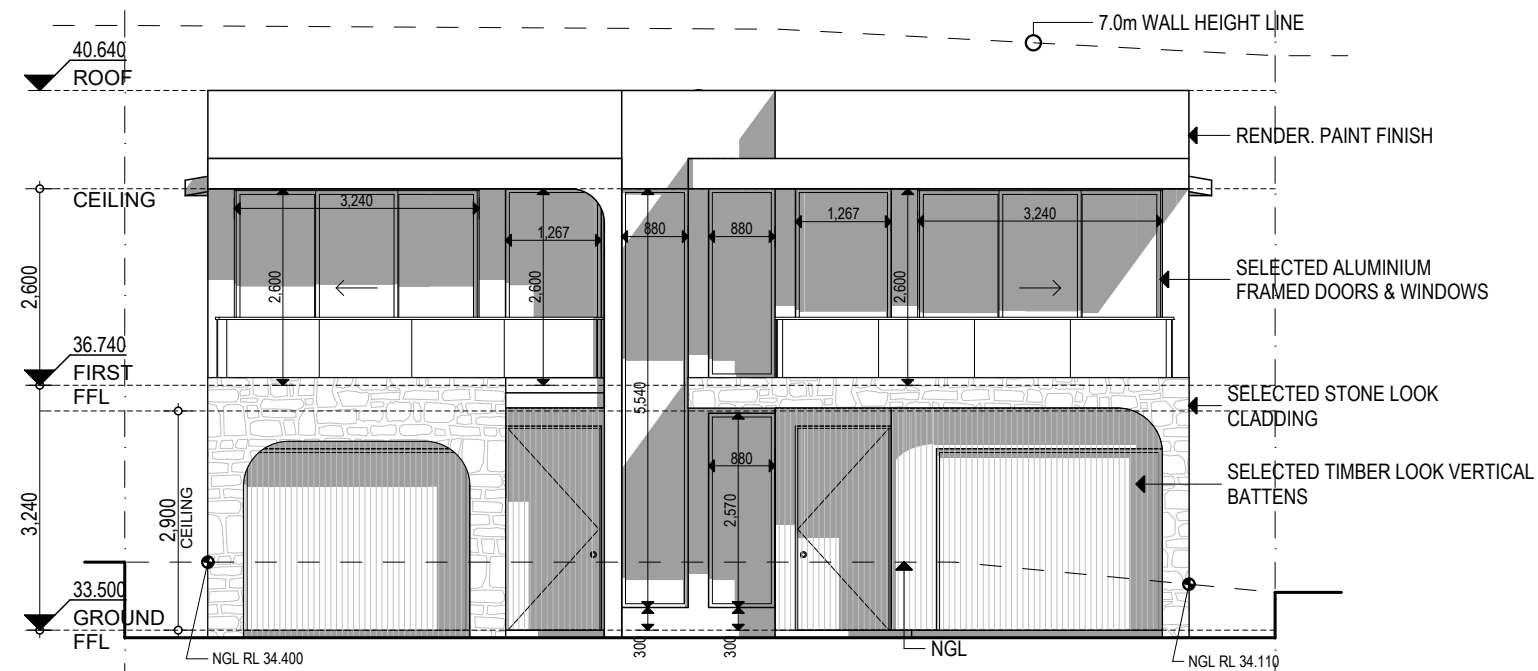
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			Issue			Date	Description		Int.	App.	Scale AS SHOWN	Date 07/04/2025	Project no.
			A			07-04-25	Issued for DA Approval		J.B	J.B	Drawn J.B	Approved J.B	24-021
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							Issued Development Application		Drawing no.				
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FIRST LEVEL FLOOR PLAN

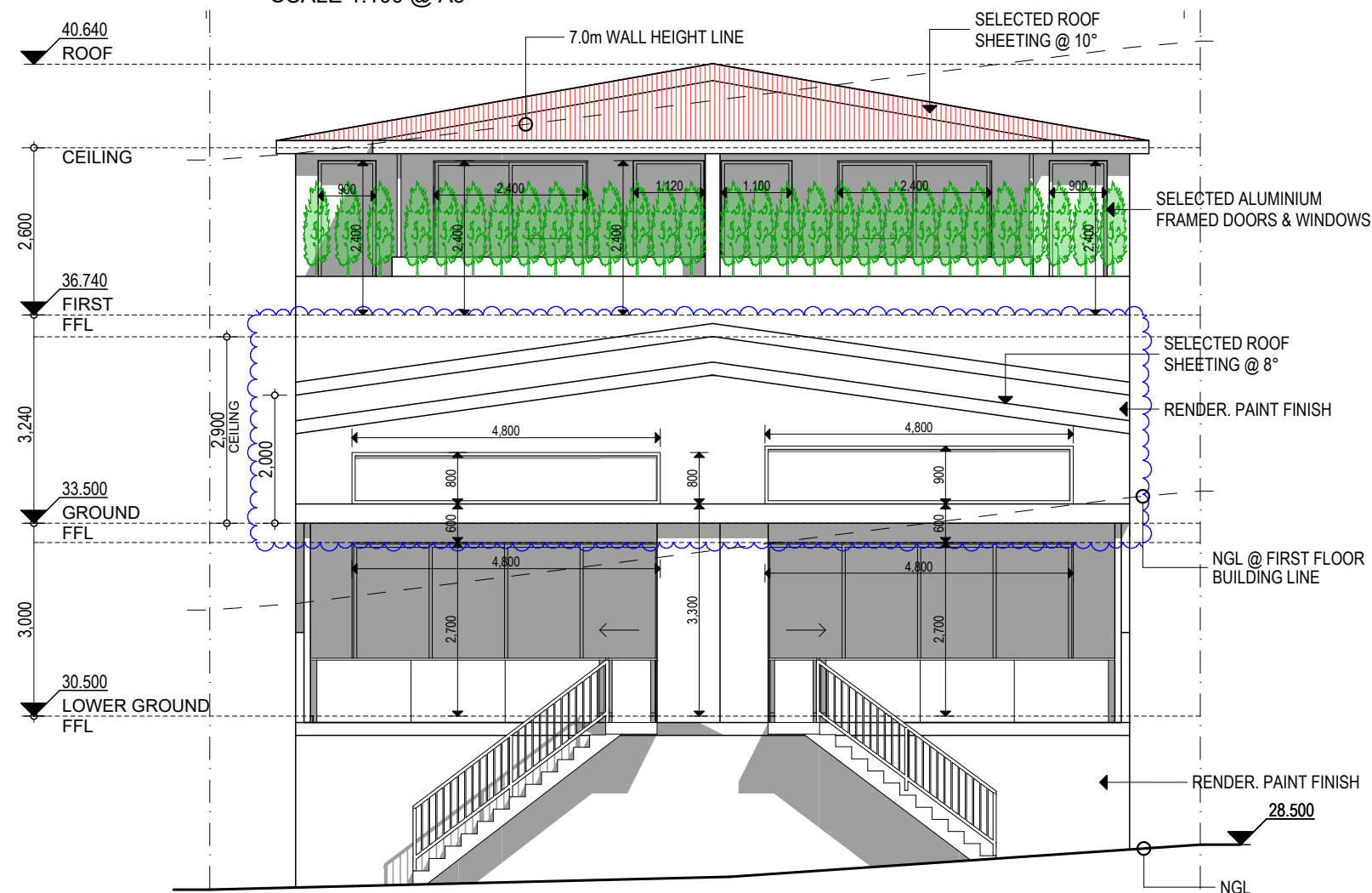
SCALE 1:100 @ A3
SA: SMOKE ALARM

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			Issue	Date	Description	Int.	App.		Scale AS SHOWN	Date 07/04/2025	Project no.	
			A	07-04-25	Issued for DA Approval	J.B	J.B		24-021			
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NORTH ELEVATION

SCALE 1:100 @ A3



SOUTH ELEVATION

SCALE 1:100 @ A3

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PO Box 242
Belmore NSW 2192
M 0414 656 563
E info@archicorp.com.au
www.archicorp.com.au
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@ 898 Henry Lawson Dr, Picnic Point

Client

Robak Developments Pty Ltd

Drawing Title

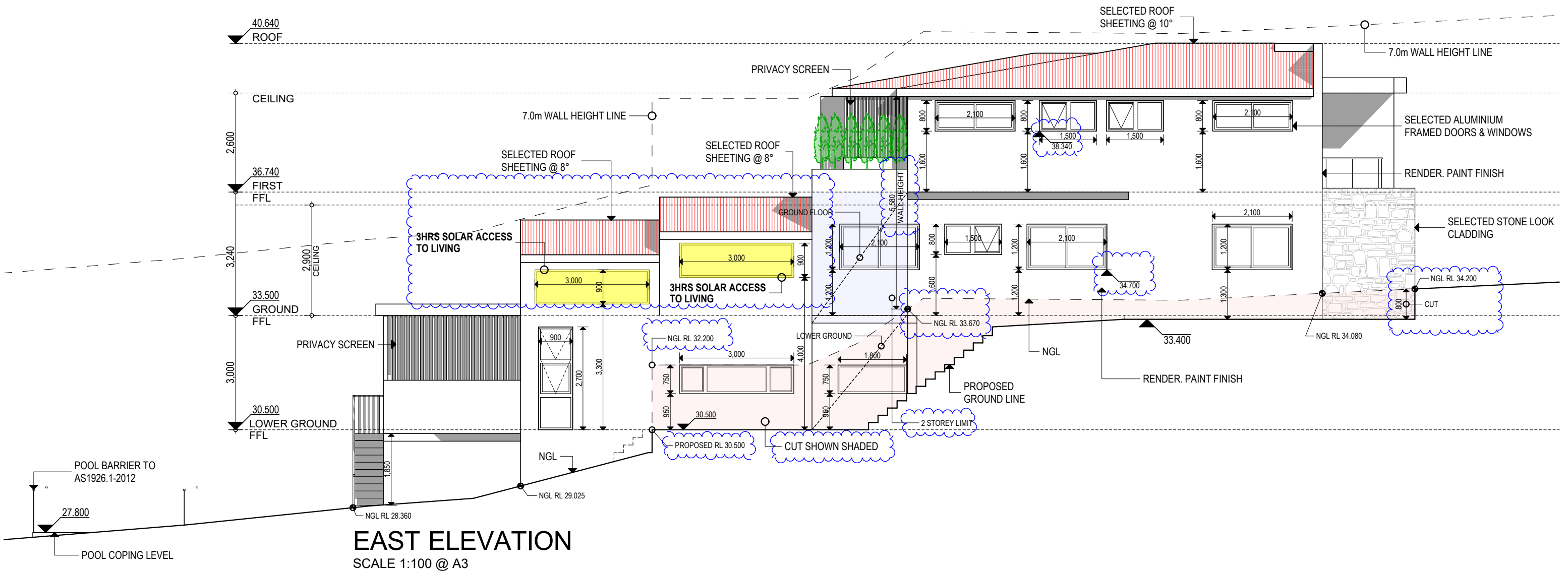
North & South Elevations

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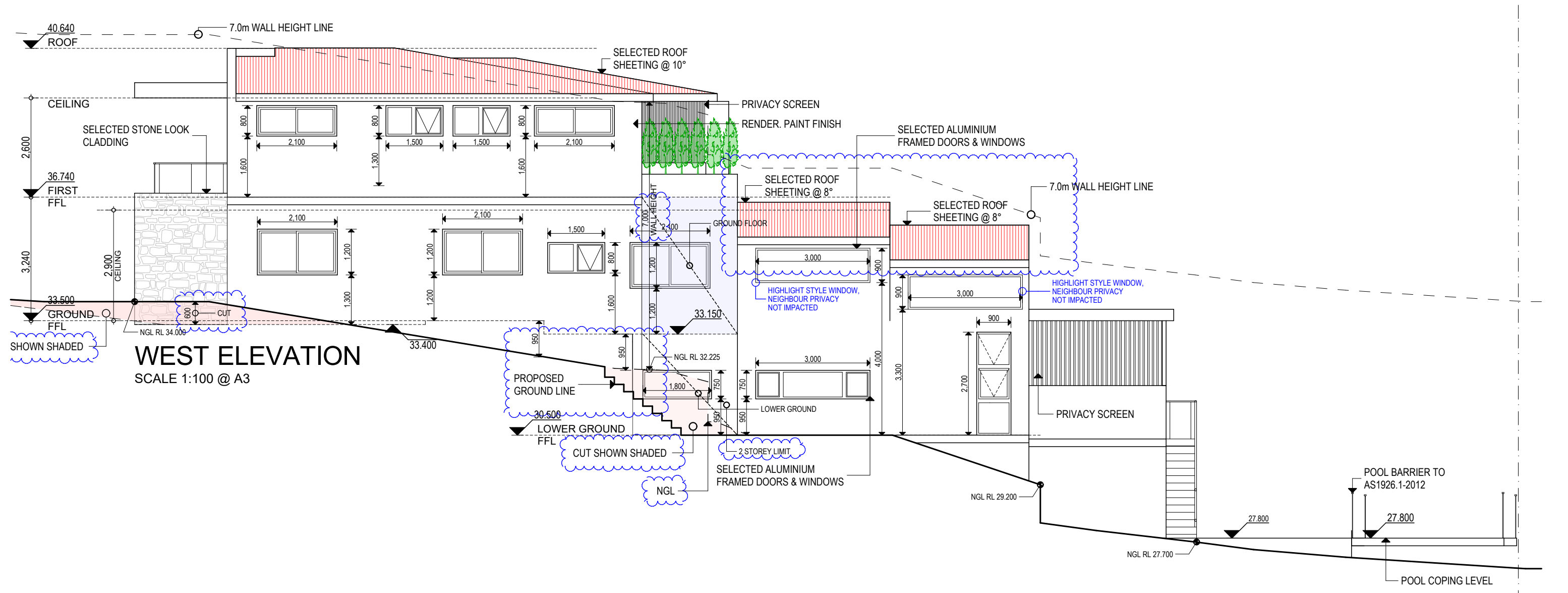
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Issued Development Application	Drawing no. 7
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7

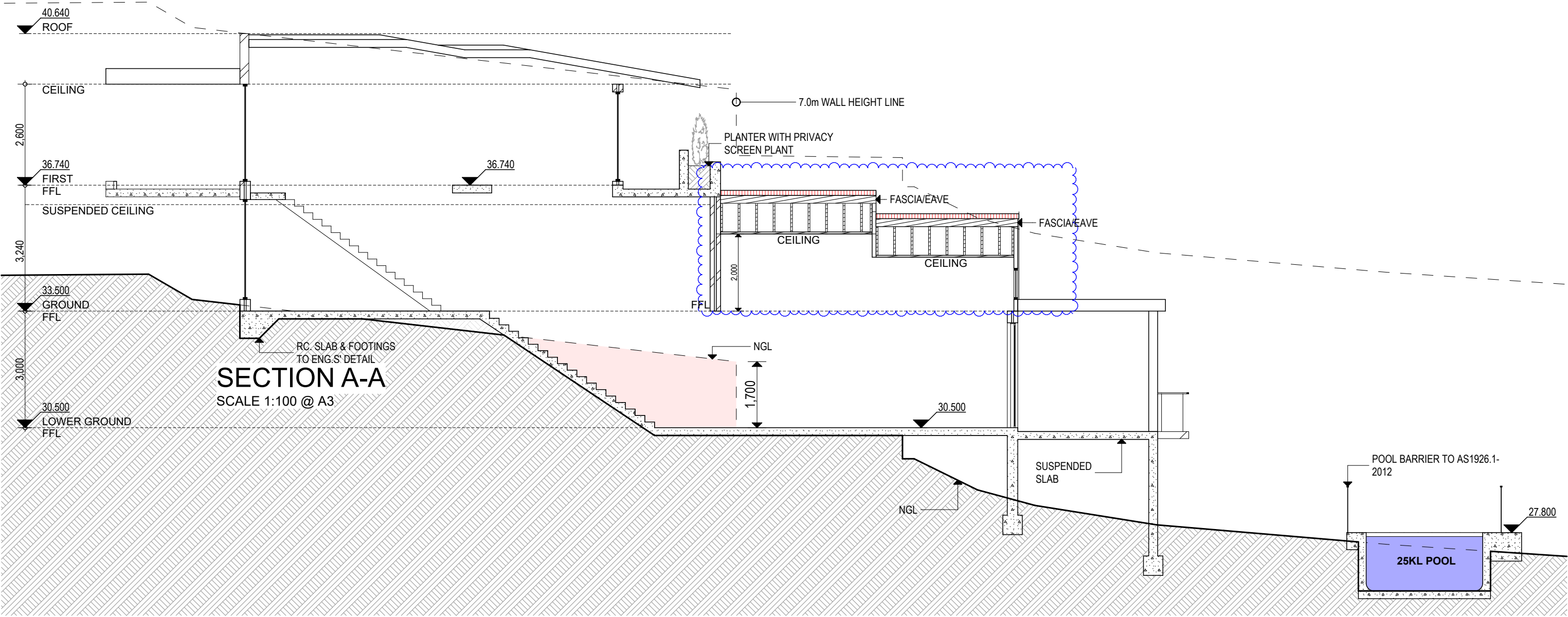


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			Issue	Date	Description	Int.	App.			Scale AS SHOWN	Date 07/04/2025	Project no.
			A	07-04-25	Issued for DA Approval	J.B	J.B			Drawn J.B	Approved J.B	24-021
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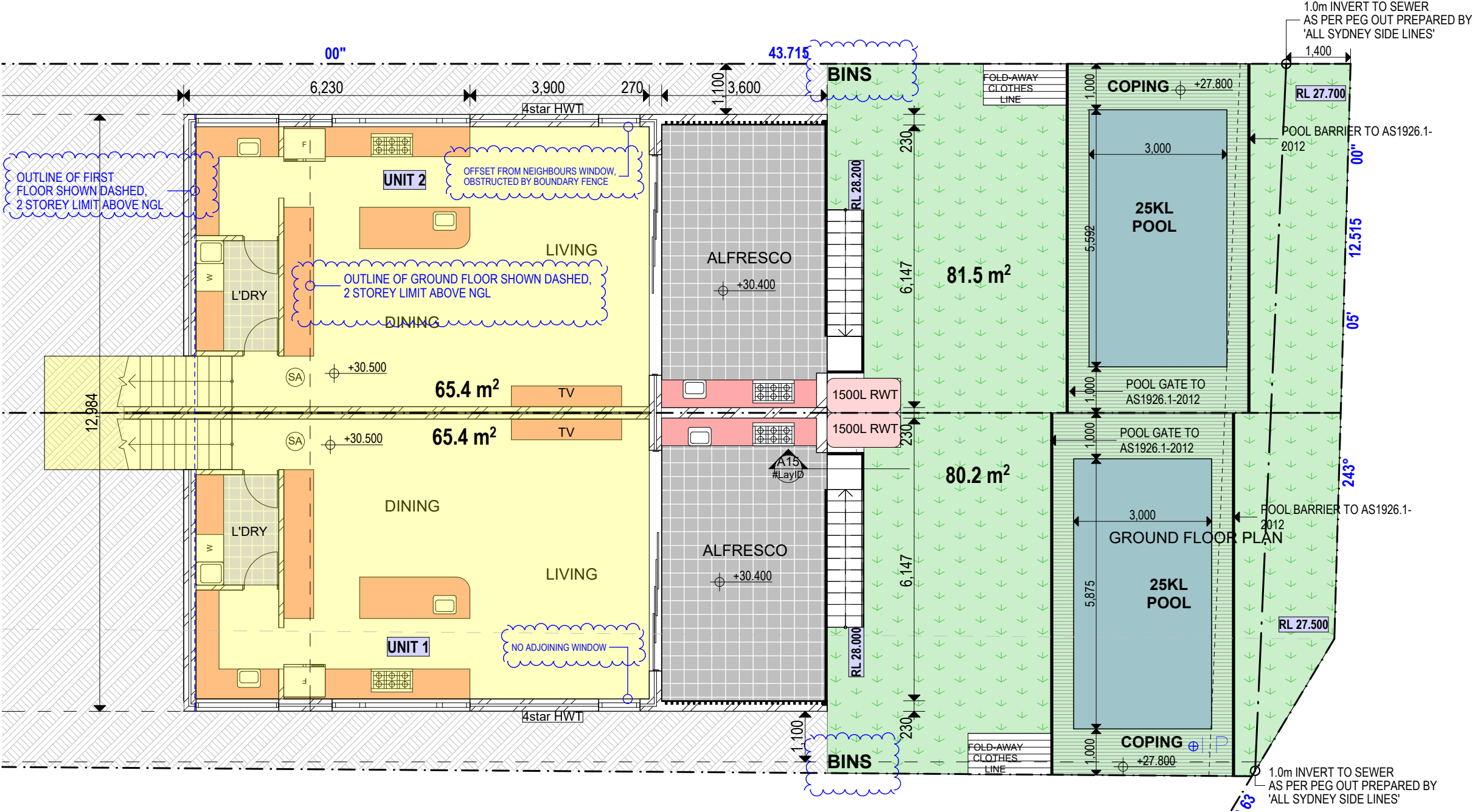
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			Scale AS SHOWN		Date 07/04/2025	Project no. 24-021							
			Drawn J.B		Approved J.B								
			Issued Development Application		Drawing no. 9								

CALCULATIONS				COMPLIES
TOTAL SITE AREA	668.37m ²	UNIT 1 FSR	49.8%	YES
		UNIT 2 FSR	49.8%	YES
UNIT 1 SITE AREA	336.3m ²	TOTAL GROSS FLOOR AREA	333.7m ²	
UNIT 2 SITE AREA	332.07m ²	PROPOSED FSR	49.9%	YES
PERMITTED GFA	334.185m ²	UNIT 1 POS	93m ²	YES
UNIT 1- LOWER GROUND AREA	65.4m ²	UNIT 2 POS	95m ²	YES
UNIT 1- GROUND FLOOR AREA	54.3m ²	SITE COVER	432.67m ² 64.7%	YES
UNIT 1- FIRST FLOOR AREA	48.3m ²	DEEP SOIL	235.7m ² 35.3%	YES
UNIT 1- TOTAL FLOOR AREA	168.0m ²			
UNIT 2- LOWER GROUND AREA	65.4m ²			
UNIT 2- GROUND FLOOR AREA	54.3m ²			
UNIT 2- FIRST FLOOR AREA	46.0m ²			
UNIT 2- TOTAL FLOOR AREA	165.7m ²			
PROPOSED FSR	49.9%			

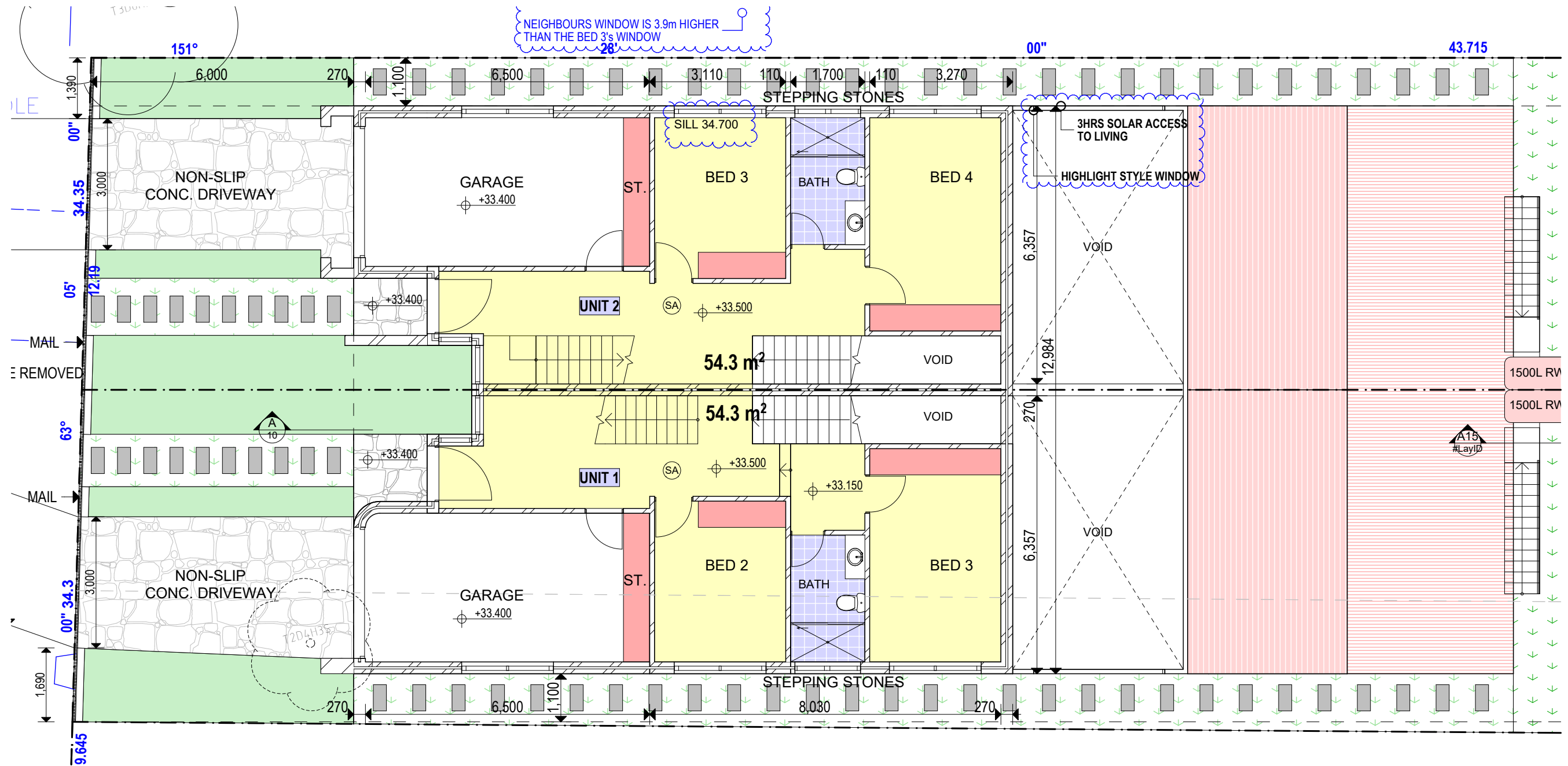


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			Issue	Date	Description	Int.	App.			Scale AS SHOWN	Date 07/04/2025	Project no.		
			A	07-04-25	Issued for DA Approval	J.B	J.B			Drawn J.B	Approved J.B	24-021		
			B	01-07-25	General Revision	J.B	J.B							

CALCULATIONS				COMPLIES
TOTAL SITE AREA	668.37m ²	UNIT 1 FSR	49.8%	YES
		UNIT 2 FSR	49.8%	YES
UNIT 1 SITE AREA	336.3m ²	TOTAL GROSS FLOOR AREA	333.7m ²	
UNIT 2 SITE AREA	332.07m ²	PROPOSED FSR	49.9%	YES
PERMITTED GFA	334.185m ²	UNIT 1 POS	93m ²	YES
UNIT 1- LOWER GROUND AREA	65.4m ²	UNIT 2 POS	95m ²	YES
UNIT 1- GROUND FLOOR AREA	54.3m ²	SITE COVER	432.67m ² 64.7%	YES
UNIT 1- FIRST FLOOR AREA	48.3m ²	DEEP SOIL	235.7m ² 35.3%	YES
UNIT 1- TOTAL FLOOR AREA	168.0m ²			
UNIT 2- LOWER GROUND AREA	65.4m ²			
UNIT 2- GROUND FLOOR AREA	54.3m ²			
UNIT 2- FIRST FLOOR AREA	46.0m ²			
UNIT 2- TOTAL FLOOR AREA	165.7m ²			
PROPOSED FSR	49.9%			



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			Issue	Date	Description	Int.	App.			Scale AS SHOWN Date 07/04/2025 Project no. 24-021		
			A	07-04-25	Issued for DA Approval	J.B	J.B			Drawn J.B Approved J.B		
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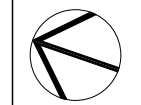
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PO Box 242
Belmore NSW 2192
M 0414 656 563
E info@archicorp.com.au
www.archicorp.com.au
ABN 831 939 535 21

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Client

Robak Developments Pty Ltd

Drawing Title

GROUND FLOOR AREA PLAN

Scale AS SHOWN

Date 07/04/2025

Project no.

24-021

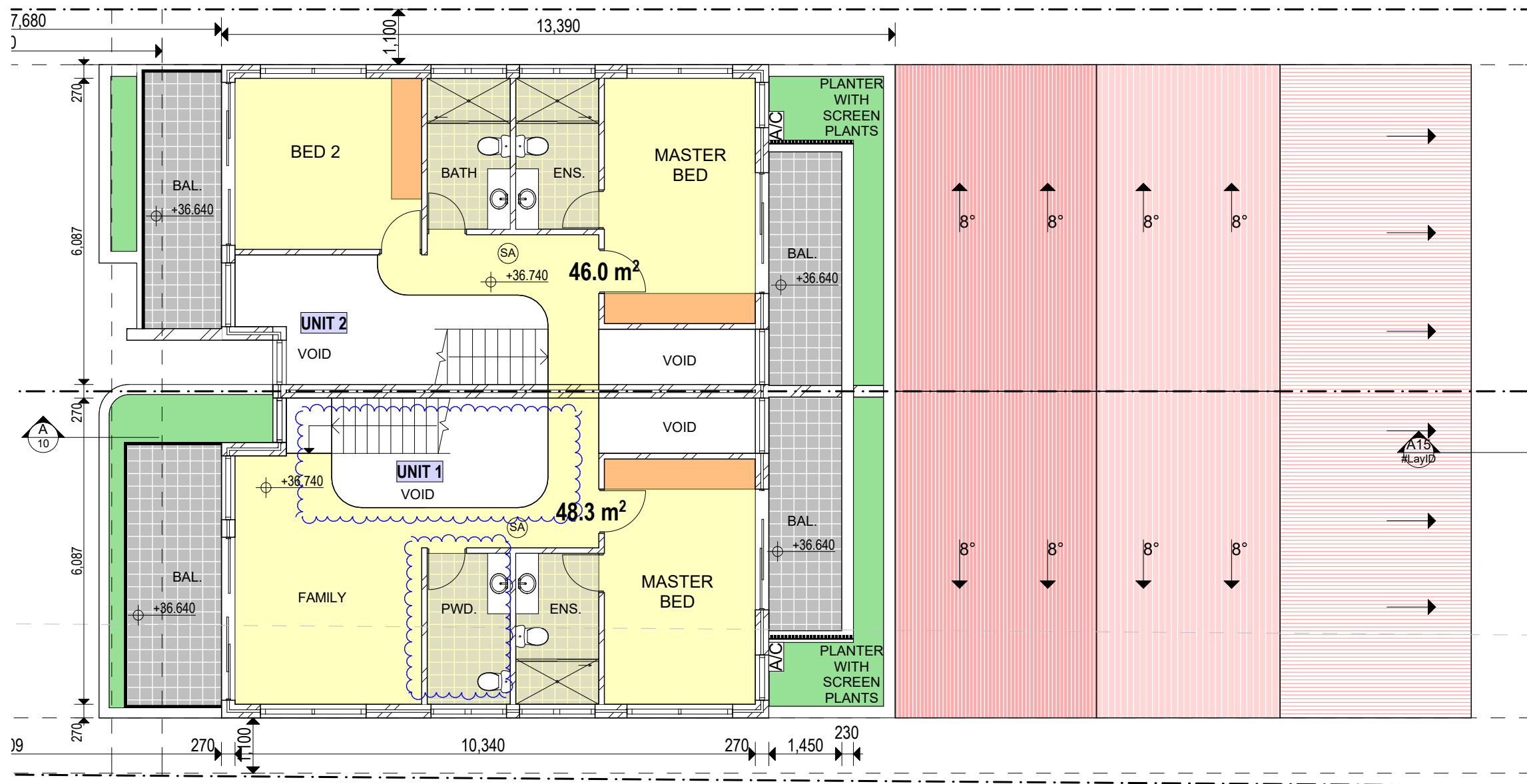
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			Issue		Date	Description	Int.	App.		Scale AS SHOWN	Date 07/04/2025	Project no.	
			A		07-04-25	Issued for DA Approval	J.B	J.B		Drawn J.B	Approved J.B	24-021	
			B		01-07-25	General Revision	J.B	J.B		Issued Development Application			
									Client Robak Developments Pty Ltd		Drawing no. 18		